

GENERAL NOTES

- Drawings in this set and designs thereon are the property of Richard Williams Architects, PLLC.
- These general conditions shall apply to all work and all drawings in this set and shall extend to any changes, extras, or additions agreed to during the course of the work.
- All work shall be done in accordance with all applicable codes and regulations.
- G.C. is to notify Architect immediately of any condition that arises which could impede the progress of construction or intentions described in the Contract Documents.
- Contractor is to verify all dimensions and conditions upon beginning the work and notify architect of any conflicts with the Contract Documents.
- Do not scale drawings. Dimensions shall govern; details shall govern over plans and elevations. Large scale details shall govern over small scale details. Notify Architect immediately for a resolution of any discrepancy that may exist in the drawings before proceeding with the work.
- Notes on any one sheet apply to all sheets.
- Substitutions, revisions, or changes must have prior approval of the Architect or Owner.
- The contractor shall supervise and direct the work. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures, and for the coordination of all portions of the work.
- General contractor shall supply prior to commencing work a list of all subcontractors. Said list shall include the name of principal contact, the address and phone number of each subcontractor.
- No work defective in construction or quality, or deficient in any requirement of the drawings or notes will be acceptable in discontinuance of the owner's or architect's failure to discover or point out defects or deficiencies during construction. Defective work reworked within the time requires guarantees shall be required by work conforming with the intent of the contract. No payment, either partial or final, shall be constituted as an acceptance of defective work or improper materials.
- The general contractor is to provide all labor and materials necessary to execute all work as shown on these drawings with the exception of those items noted as separate contracts.
- All materials shall be new, unused, and of the highest quality in every respect unless mutually agreed upon by Owner and Architect. All manufactured materials and equipment shall be installed as per manufacturers recommendations.
- All work shall be erected and installed plumb, level, square and true, and in proper alignment.
- All installed plumbing, mechanical, and electrical equipment shall operate quietly and free of vibration.

INDEX OF DRAWINGS

- G001 GENERAL INFORMATION
- A001 SITE PLAN
- A002 SITE CONTEXT PHOTOS
- A003 EXISTING SITE PHOTOS
- A004 DEMO PLAN
- A005 PROPOSED FLOOR PLANS
- A006 EXTERIOR ELEVATIONS
- A007 EXTERIOR ELEVATIONS
- A008 BUILDING SECTIONS
- A009 EXAMPLES OF ALLEY DWELLINGS
- A010 3D PERSPECTIVES
- A011 3D PERSPECTIVES
- A012 ROOF PLAN

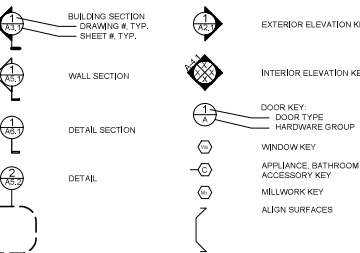
APPLICABLE CODES

2013 DC CONSTRUCTION CODES INCLUDING THE 2012 IBC AS AMENDED BY THE DCMR 12B AND THE 2012 IECC AS AMENDED BY THE DCMR 12L

ABBREVIATIONS

ADJ ADJUSTABLE	MAS MASONRY
AFF ABOVE FINISHED FLOOR	MAX MAXIMUM
APRO APPROXIMATE	MEC MECHANICAL
ARCH ARCHITECTURAL	MEN MECHANICAL ELECTRICAL
BD BOARD	MIN MINIMUM
BT BT/UNFINISHED	MO MASONRY OPENING
BLK BLOCKING	MTD MOUNTED
BLDG BUILDING	MTL METAL
BR BRICK	NIC NOT IN CONTRACT
CAB CABINET	NO NUMBER
CLG CEILING	NOM NOMINAL
CLCK CLACK	NTS NOT TO SCALE
CL CENTER LINE	OC ON CENTER
CLR CONCRETE MASONRY UNIT	OD OUTSIDE DIAMETER
CMU CONCRETE MASONRY UNIT	OFD OWNER FURNISH, G.C. INSTALLED
COL COLUMN	OP OPENING
CONC CONCRETE	OPP OPPOSITE
CONT CONTINUOUS	PLAM PLASTIC LAMINATE
CT CERAMIC TILE	POL POLISHED
CTOP COUNTERTOP	PNTD PAINTED
DBL DOUBLE	PNTD PAINTED
DEM DEMONITION	PSI POUNDS PER SQUARE INCH
DET DETAIL	PSF POUNDS PER SQUARE FOOT
DL DOUBLE HUNG	PT PRESSURE TREATED
DIA DIAMETER	PWD PLYWOOD
DM DIMENSION	QT QUARRY TILE
DN DOWN	R RIBBON
DR DOOR	RAD RADIUS
DS DOWNSPOUT	R.A.G. RETURN AIR GRILLE
DW DOWNWASHER	REBAR REINFORCEMENT BAR
DWG DRAWING	REF REFRIGERATOR
DWR DRAWER	REQ REQUIRED
EA EACH	REV REVERSE
EL ELEVATION	RFP ROOFING
ELEC ELECTRICAL	RH RIGHT HAND
ENT48 ENTRANCE	RM ROOM
EOP EQUAL	RO ROUGH OPENING
EXP EXPANSION	RTG RATING
EXP JT EXPANSION JOINT	S SUPPLIED AIR
EXT EXTERIOR	SBO SUPPLIED BY OTHERS
EXT EXISTING TO REMAIN	SC SEPARATE CIRCUIT
FAMP FLUID APPLIED WATERPROOFING	SF SQUARE FEET
FD FLOOR DRAIN	SH SHEET
FEN FOUNDATION	SM SIMLAR
FEI FIRE EXTINGUISHER	SOG SMOOTH LUMBER COMPANY #
FIN FINISH	SQ ON GRADE
FL FLOOR	SPEC SPECIFICATIONS
FLOR FLOOR	STL STAINLESS STEEL
FLO FLUORESCENT	STL STEEL
FPC FACE OF CONCRETE	STD STANDARD
FPF FACE OF FINISH	STR STORAGE
FOM FACE OF MASONRY	STR STRUCTURE
FOS FACE OF STUDS	STRUC STRUCTURE
FTG FOOTING	SUS SUSPENDED
FUR FURNISH	SYS SYSTEM
FWC FABRIC WALL COVERING	T TREAD
FRZR FREEZER	TO TOP OFF
GA GALVAL	TBD TO BE DETERMINED
GAL GALVANIZED	TBS TO BE SPECIFIED
GC GENERAL CONTRACTOR	TEL TELEPHONE
GL GLASS	TEMP TEMP
GR GRADE	T & G TONGUE AND GROOVE
GTR GUTTER	TW TOP OF WALL
GWB GYPSUM WALL BOARD	TYP TYPICAL
HP HISPPOINT	UC UNDERCUT
HD HARDWOOD	UC UNDER COUNTER
HDWR HARDWARE	UNF UNFINISHED
HM HOLLOW METAL	UN UNLESS OTHERWISE NOTED
HCRZ HORIZONTAL	VB VAPOR BARRIER
HTG HEIGHT	VCT VINYL COMPOSITION TILE
HTG HEATING	VB VINYL BASE
HVAC HTG. VENT. AND AC	VT VINYL TILE
HSS HOLLOW STRUCTURAL STEEL	VERT VERTICAL
ID INTERIOR DIAMETER	VF VERTY IN FIELD
INSUL INSULATION	W WITH
INT INTERIOR	WD WOOD
JB JAMB	WMO WESTERN WOOD MOULD #
JT JOINT	W/O WITHOUT
KT KITCHEN	W/P WORKING POINT
L LANDING	WR WATER RESISTANT
LAM LAMINATE	WS WETSTACK
LAV LAVATORY	
LCC LEAD COATED COPPER	
LF LINEAR FEET	
LH LEFT HAND	

LEGENDS



1 SITE MAP



PROJECT INFORMATION

ADDRESS:	514 ARCHIBALD WALK, SE WASHINGTON, DC 20003	LOT:	845
		SQ. METERS:	877
BUILDING:	ONE-STORY BRICK STRUCTURE		
CURRENT USE:	GARAGE / HOME OFFICE		
PROPOSED USE:	SINGLE DWELLING UNIT WITH GARAGE		
LOT SIZE:	632 SF (RECORDED) 703 SF (SURVEYED)		
HISTORIC DISTRICT:	CAPITOL HILL		
DESCRIPTION:	STRUCTURE IS AN EXISTING 1-STORY GARAGE + OFFICE WITH HALF BATH. IMPROVEMENTS TO INCLUDE NEW SECOND FLOOR (1 BEDROOM / 1 BATHROOM) DWELLING UNIT + FIRST FLOOR ADDITION / RENOVATION TO ACCOMMODATE ENTRANCE TO PROPOSED SECOND FLOOR DWELLING UNIT.		
ZONING - Title 11 DCMR			
ZONING:	RF-1 (ALLEY LOT)		
USES:	RESIDENTIAL		
		ALLOWED	EXISTING
FRONT YARD SETBACK (E):		0'	7.5'
REAR YARD SETBACK (W):		0'	4'-3"
SIDE YARD SETBACK (N):		5' (FROM STREET FACING LOT)	0'
SIDE YARD SETBACK (S):		0'	0'
MAX HEIGHT:		20' / (2) STORIES	31'-9" / (1) STORY
MAX LOT OCC.		100%	86%
REQUIRED PAVEMENT SURFACE		10%	0%

* Note: The cornice height of the adjacent neighboring structure + 23'-4". The proposed parapet will align with existing cornice condition typical of block.

ADDITION AND RENOVATIONS TO
514 ARCHIBALD WALK SE
 WASHINGTON, DC 20003

No.	Date	REVISIONS
1.	BZA SUBMISSION 04.12.2020	
2.	HPRB SUBMISSION 10.01.2020	

RICHARD WILLIAMS
 ARCHITECTS, PLLC
 1929 Q STREET NW #200
 WASHINGTON, DC 20009
 202.387.4500

GENERAL INFORMATION

RWA Job No. 0000

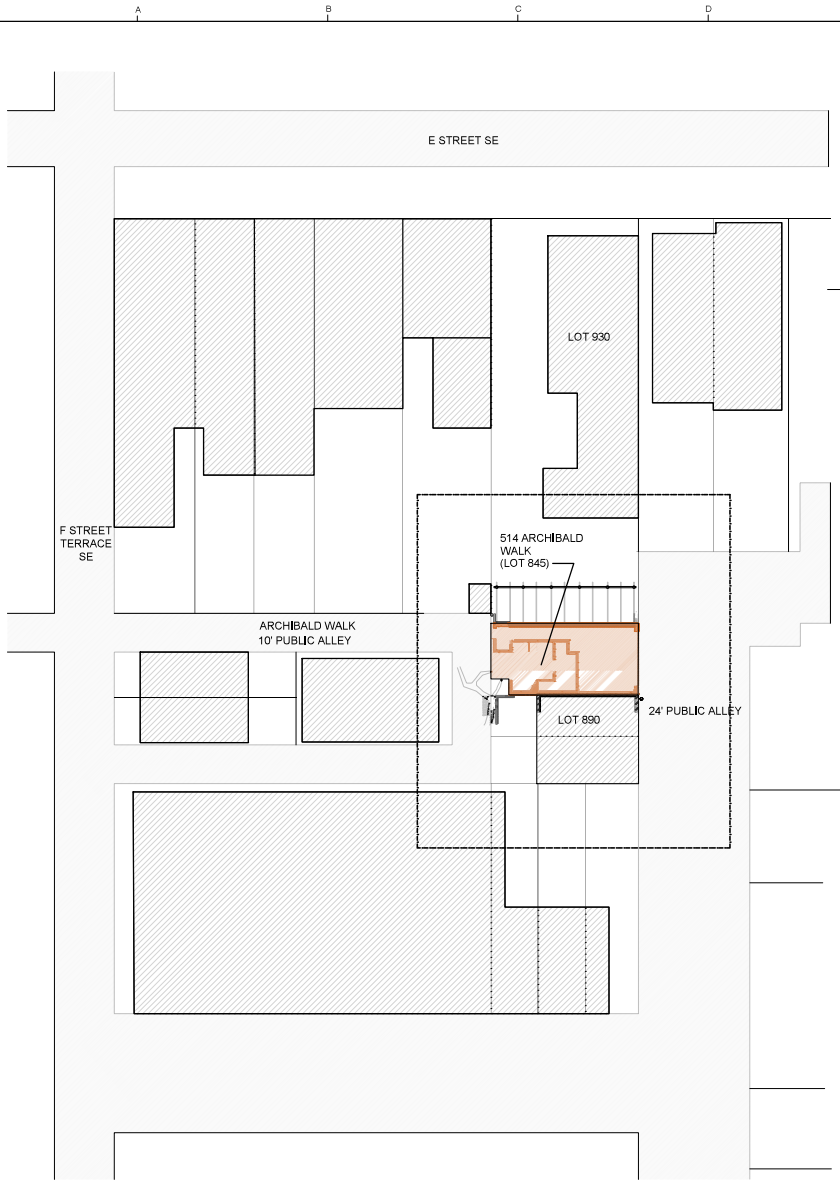
No.	Date	REVISIONS
1.	BZA SUBMISSION 04.12.2020	
2.	HPRB SUBMISSION 10.01.2020	

RICHARD WILLIAMS ARCHITECTS, PLLC
 1909 Q STREET NW #200
 WASHINGTON, DC 20009
 202.387.4500

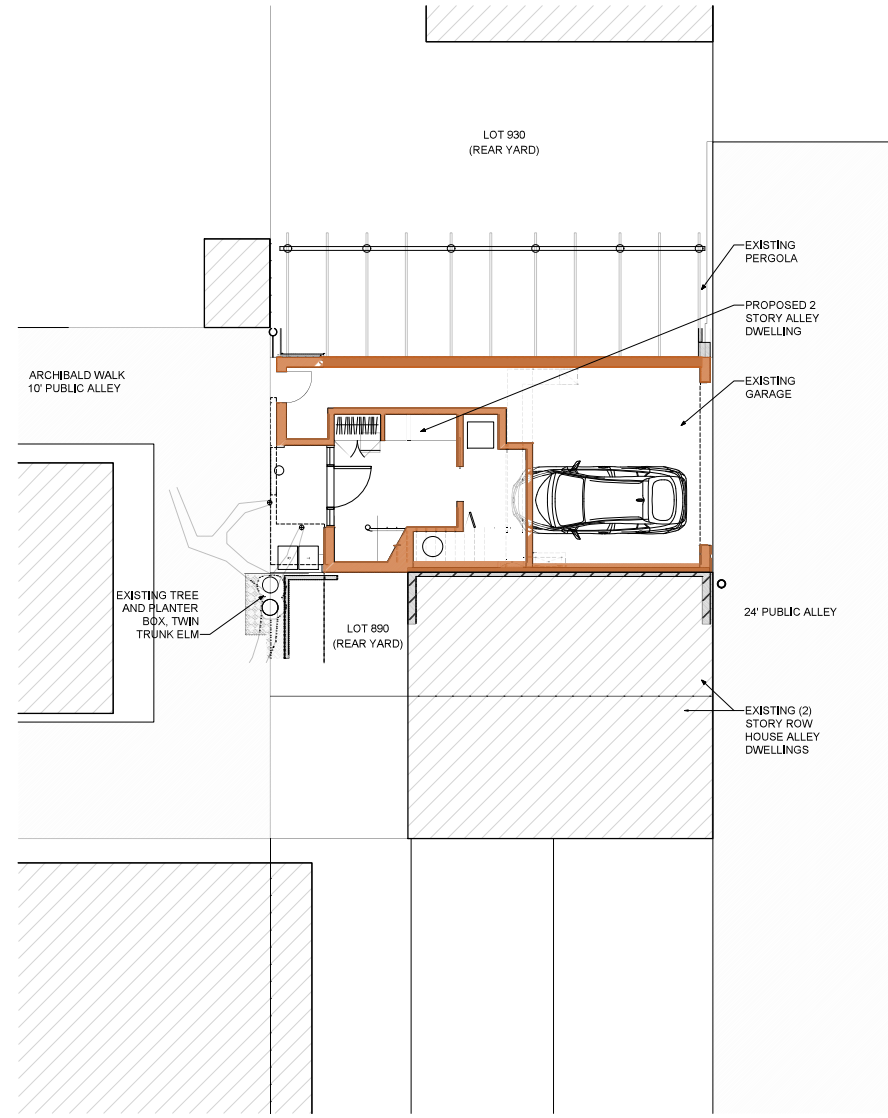
SITE PLAN

RWA Job No. 0000

A001



1 SITE PLAN 1
 1/16" = 1'-0"



2 SITE PLAN 2
 3/16" = 1'-0"





Key site plan



1. Nearby dwellings of Archibald Walk



2. View of adjacent dwellings



3. View of parapet of dwelling from Archibald walk



4. Nearby structures



5. Structure opposite Garage



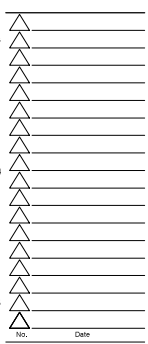
6. View of Public Alley



7. View of Nearby Dwellings

SITE CONTEXT

ADDITION AND RENOVATIONS TO
514 ARCHIBALD WALK SE
WASHINGTON, DC 20003



No. Date

REVISIONS

1, BZA SUBMISSION 04.12.2020

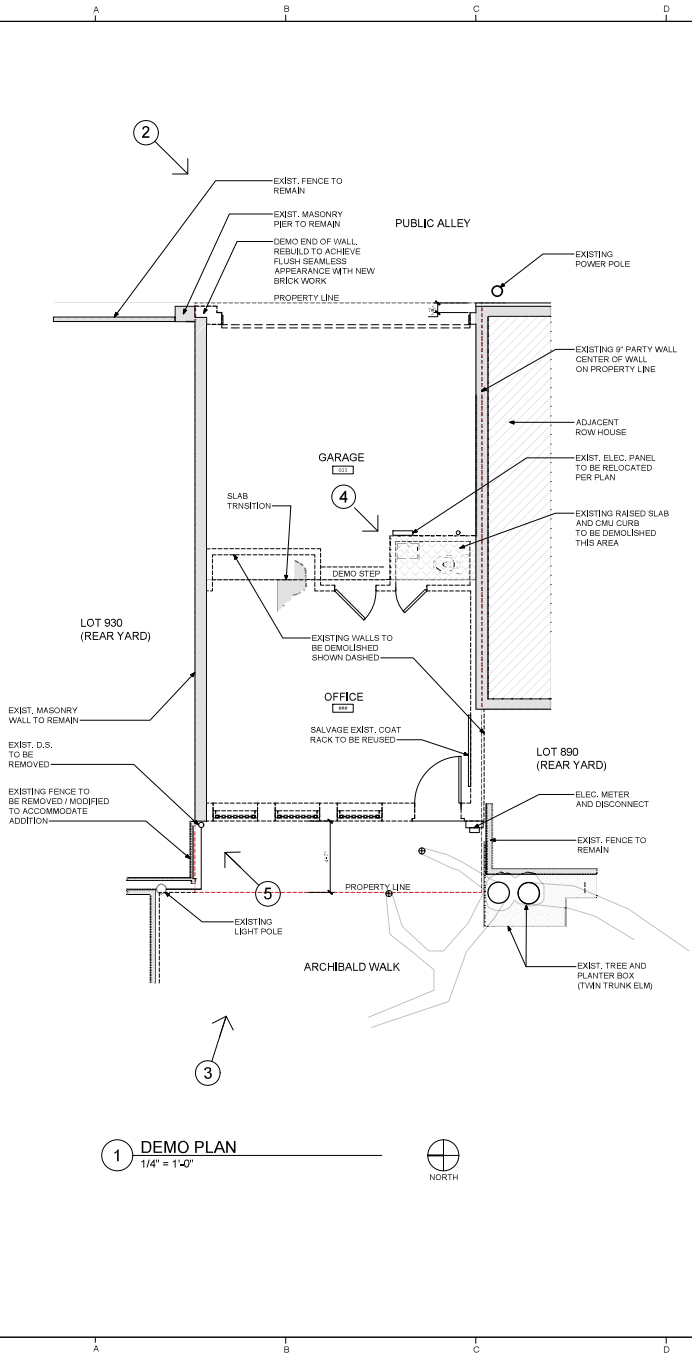
2, HPA SUBMISSION 10.10.2020

RICHARD WILLIAMS
ARCHITECTS, PLLC
1909 O STREET NW #200
WASHINGTON, DC 20009
202.387.4500

RWA Job No. 0000

A002

No.	Date	REVISIONS
1.	BZA SUBMISSION 04.12.2020	
2.	HPRB SUBMISSION 04.10.21.2020	



2 VIEW FROM ALLEY LOOKING SW



4 GARAGE INTERIOR / SLAB TRANSITION



3 VIEW FROM ARCHIBALD WALK LOOKING SE



5 GARAGE INTERIOR / SLAB TRANSITION

EXISTING FENCE TO BE REMOVED / MODIFIED TO ACCOMMODATE ADDITION

EXISTING MASONRY WALL TO REMAIN

EXISTING MASONRY WALL TO BE DEMOLISHED

PROPERTY LINE

EXISTING 9" PARTY WALL, CENTER OF WALL ON PROPERTY LINE

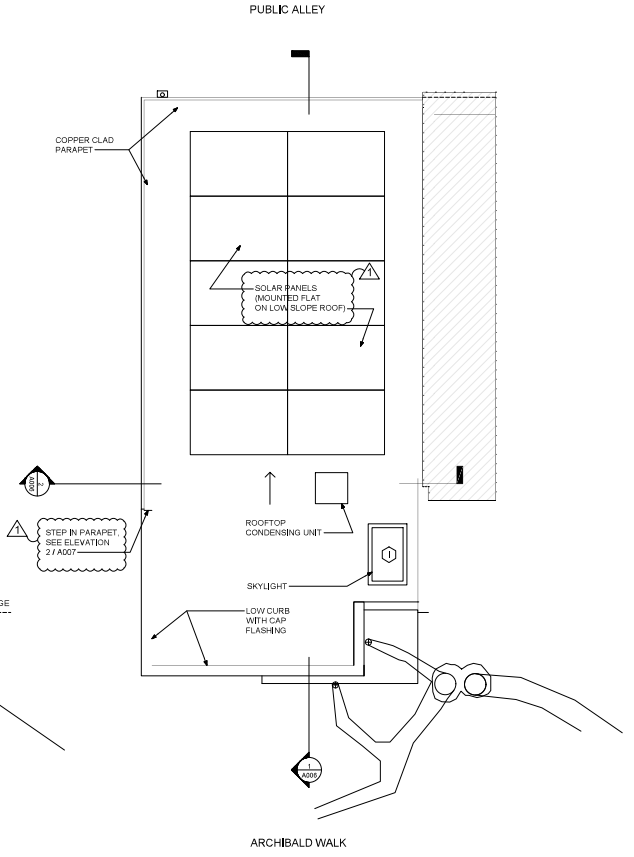
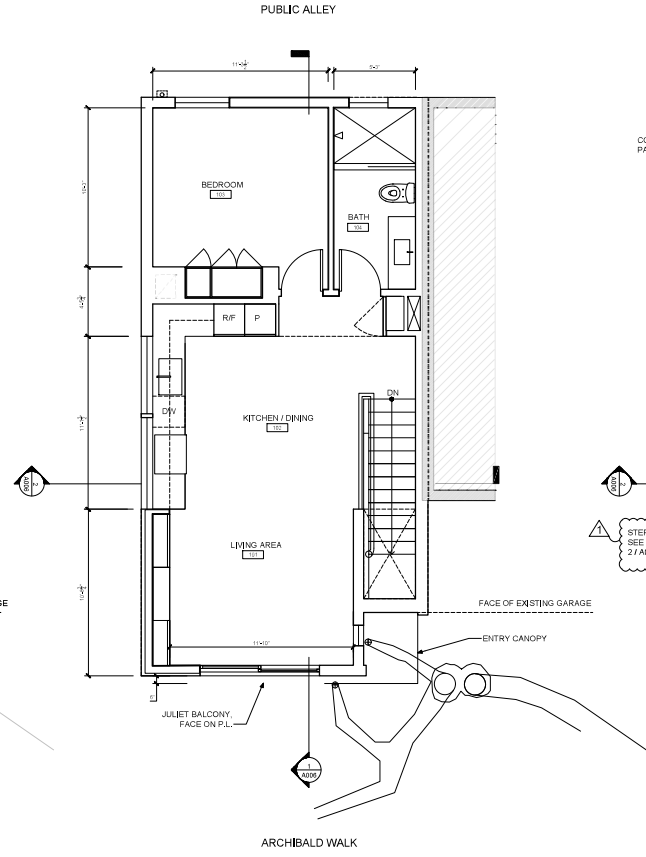
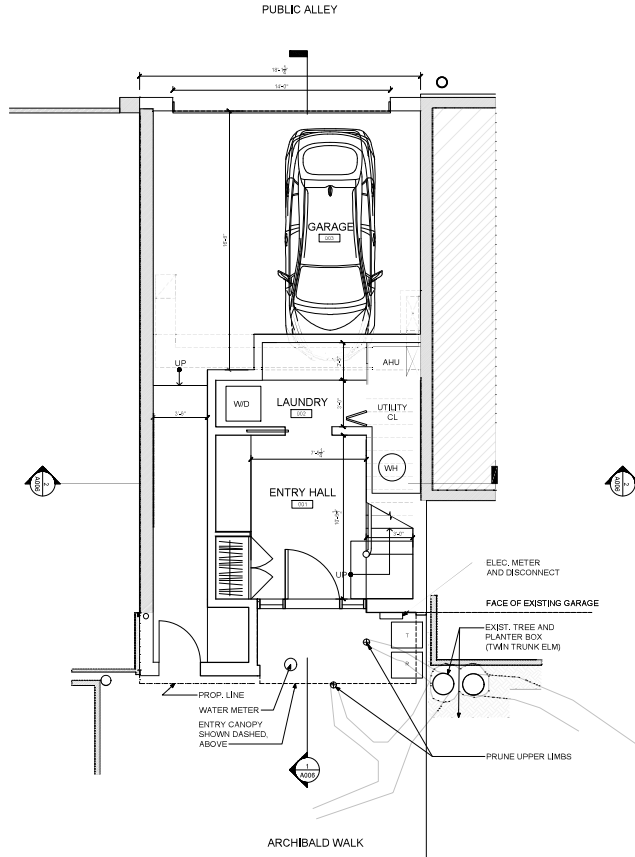
EXISTING MASONRY WALL TO REMAIN

RELOCATE EXISTING ELEC. PANEL PER PLAN

DEMO END OF WALL, REBUILD TO ACHIEVE FLUSH/SEAMLESS APPEARANCE WITH NEW BRICK WORK

PROPERTY LINE (NORTH FACE OF WALL ON LINE)

DEMO CONCRETE SLAB AND CMU CURB THIS LOCATION PER PLAN

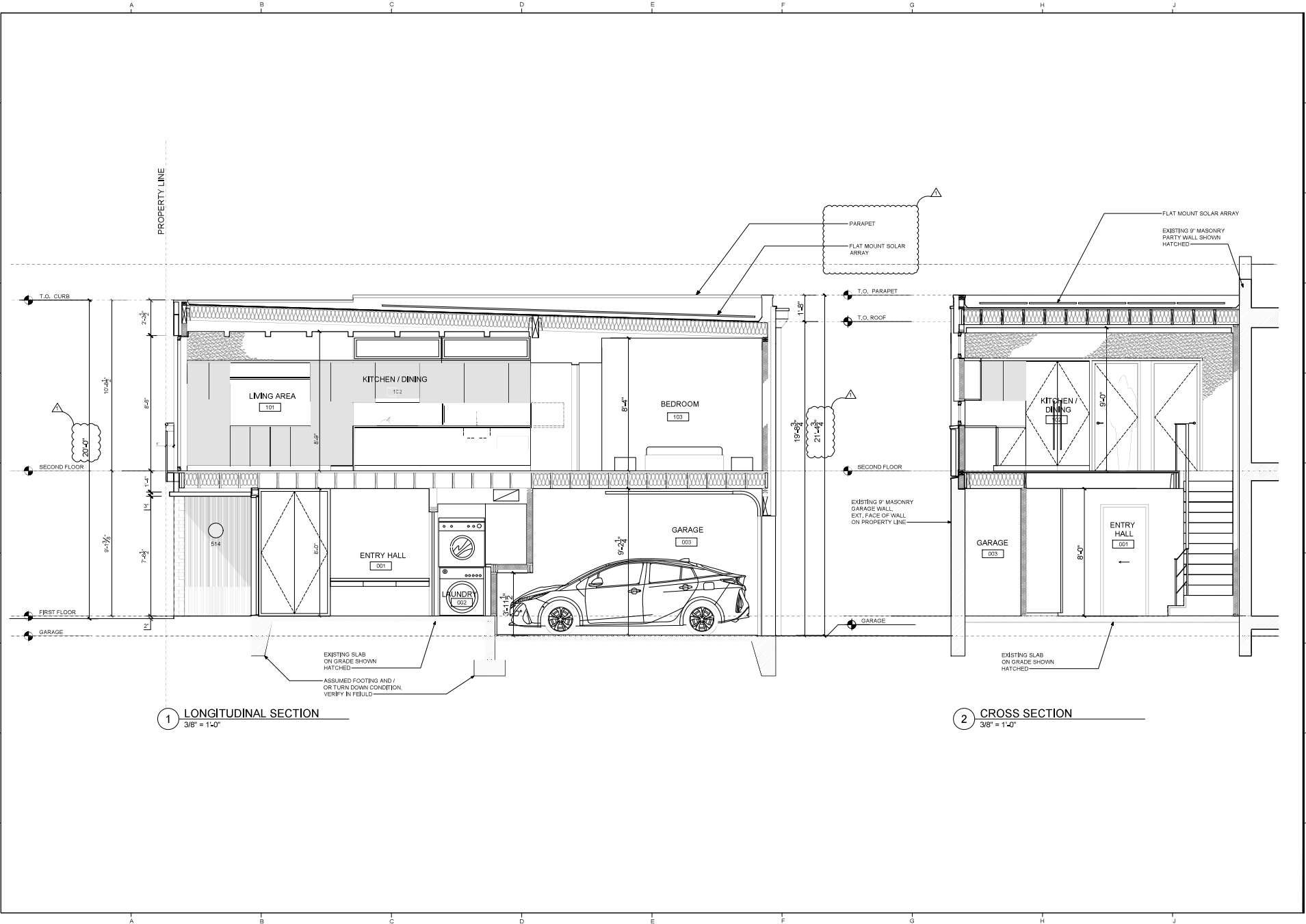


REVISIONS	
No.	Date
1.	BZA SUBMISSION 05.12.20
2.	HPRB SUBMISSION 10.01.20
3.	REVISIONS 01.05.21

RICHARD WILLIAMS ARCHITECTS, PLLC
 1809 G STREET NW #200
 WASHINGTON, DC 20009
 202.387.4500

FLOOR PLANS
 RWA Job No. 0000





1 LONGITUDINAL SECTION
 3/8" = 1'-0"

2 CROSS SECTION
 3/8" = 1'-0"

REVISIONS	
No.	Date
1.	BZA SUBMISSION: 08.12.20
2.	HPRB SUBMISSION: 10.01.20

RICHARD WILLIAMS
 ARCHITECTS, PLLC
 1809 G STREET NW #200
 WASHINGTON, DC 20009
 202.387.4500

SECTIONS

RWA Job No. 0000

REVISIONS	
No.	Date
1.	BZA SUBMISSION 05.12.20
2.	HPRB SUBMISSION 10.01.20

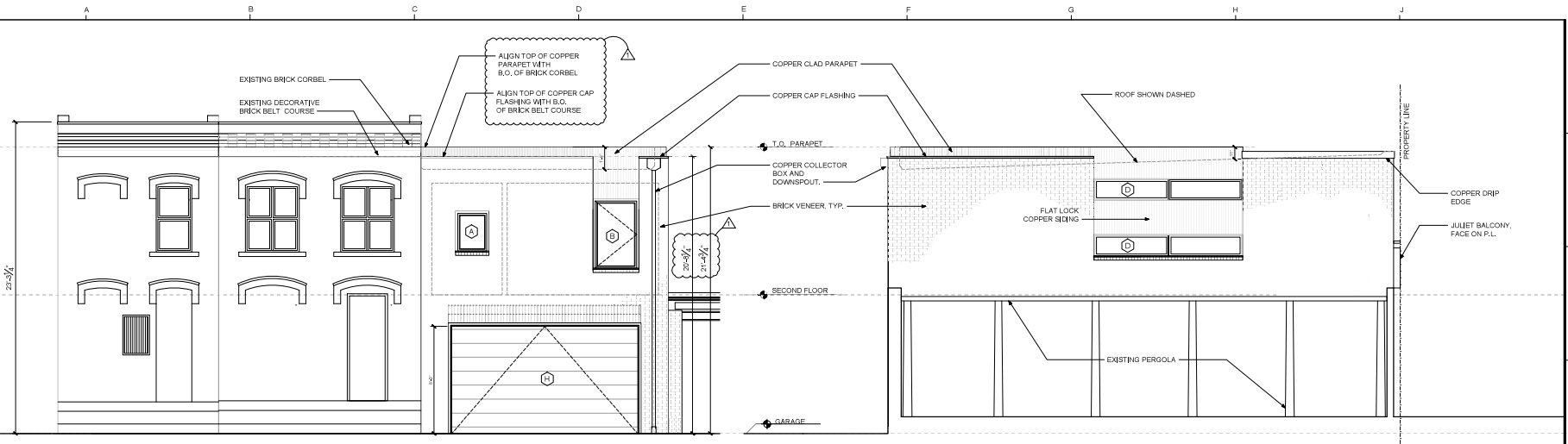
REVISIONS	
1.	BZA SUBMISSION 05.12.20
2.	HPRB SUBMISSION 10.01.20

RICHARD WILLIAMS
 ARCHITECTS, PLLC
 1809 O STREET NW #200
 WASHINGTON, DC 20009
 202.387.4500

ELEVATIONS

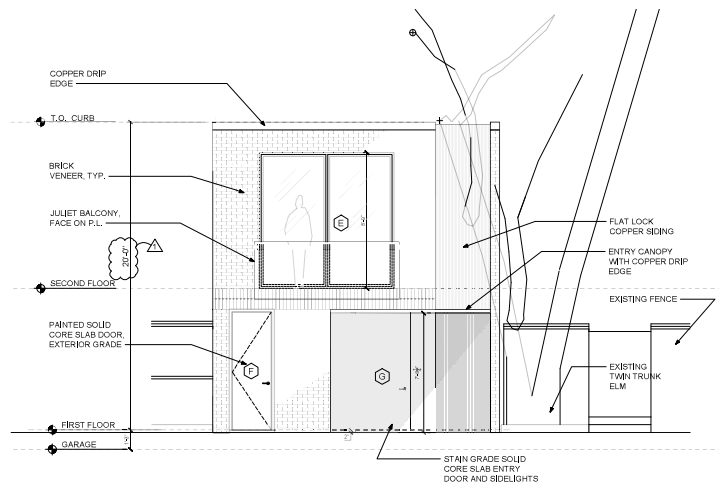
RWA Job No. 0000

A007

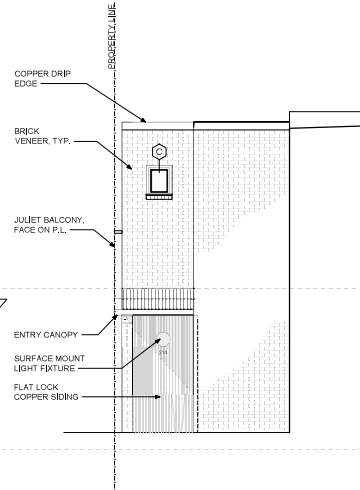


1 EAST ELEVATION
 1/4" = 1'-0"

2 NORTH ELEVATION
 1/4" = 1'-0"



3 WEST ELEVATION
 1/4" = 1'-0"



4 SOUTH ELEVATION
 1/4" = 1'-0"

1	REVISIONS 01.05.21
2	
3	
4	
5	
6	
7	
8	
9	
10	

REVISIONS 01.05.21
 Date: 01/05/21
 By: RWA

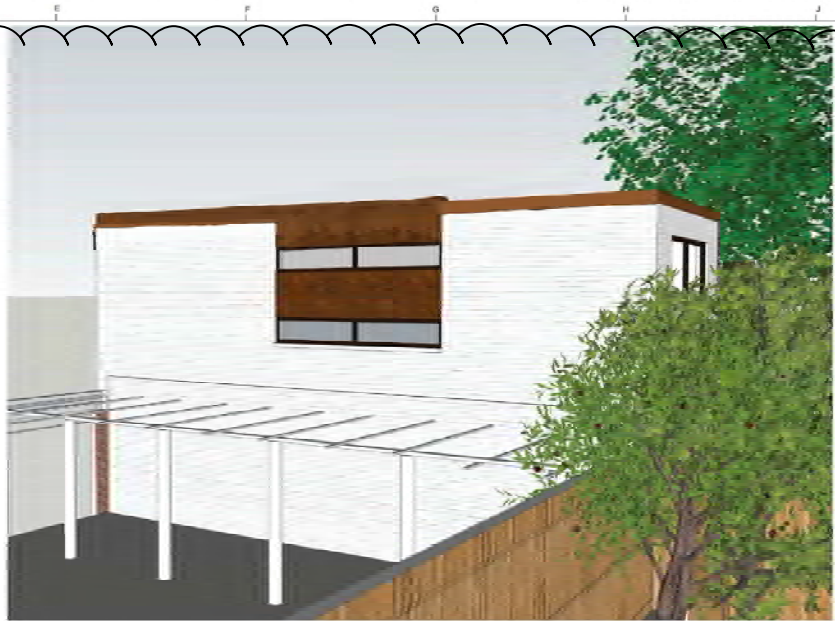
- 1. RWA SUBMISSION 06.10.17.2020
- 2. HPRB SUBMISSION 10.01.20

RICHARD WILLIAMS
 ARCHITECTS, PLLC
 1909 Q STREET NW #200
 WASHINGTON, DC 20009
 202.387.4500

RWA Job No: 0000



View from Archibald Walk - Option A



View from neighbour's backyard - Option A



View from Archibald Walk - Option B



View from neighbour's backyard - Option B

"OPTION A" MODEL
 REVISIONS REPRESENT
 ADJUSTMENTS TO
 BUILDING HEIGHT
 AS REQUIRED BY HPRB
 CONCEPT APPROVAL

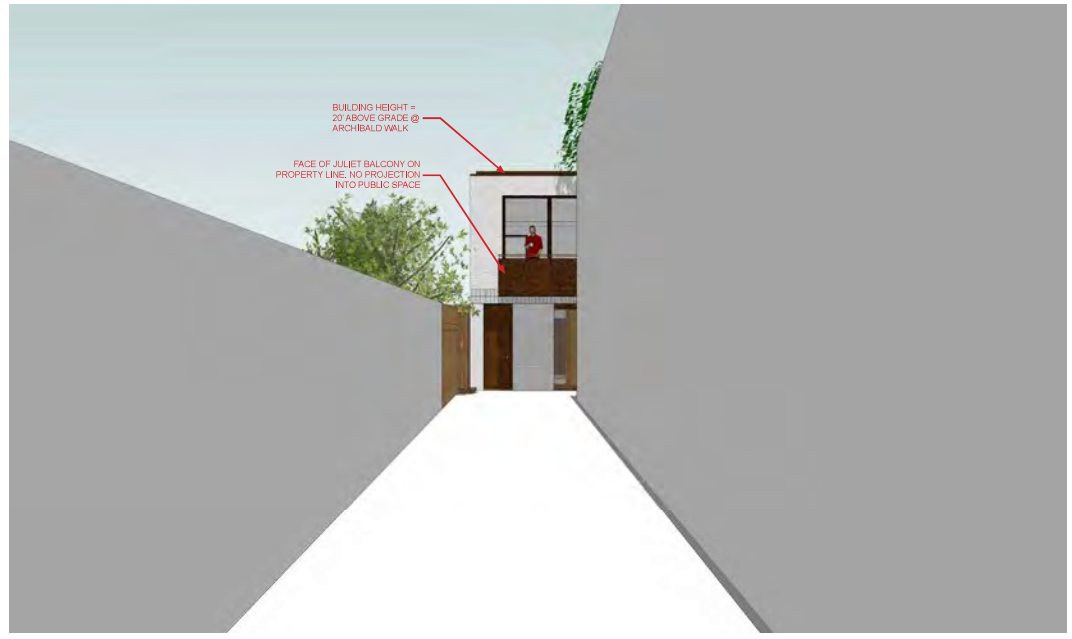
ADDITION AND RENOVATIONS TO
514 ARCHIBALD WALK SE
 WASHINGTON, DC 20003

NO.	REVISIONS	DATE
1	REVISIONS	01.05.21
2	1. BZA SUBMISSION	04.12.2020
3	2. HPRB SUBMISSION	10.01.20

RICHARD WILLIAMS ARCHITECTS, PLLC
 1509 Q STREET NW #200
 WASHINGTON, DC 20009
 202.387.4500

RWA Job No. 0000

A009



View from Archibald Walk

